

Subject: 500 Block S Person/
S Blount Street
CR Number: 9990

CERTIFIED RECOMMENDATION OF THE CITY OF RALEIGH PLANNING COMMISSION

TO: CITY COUNCIL

SUBJECT: 500 Block S. Person / S. Blount Street Redevelopment Plan

LOCATION: This site is located at the A 7 block area north of Shaw University and south of Founders Row / City Market area generally bounded by Wilmington, Blount, Davie and Cabarrus Streets in Downtown Raleigh.

REQUEST: This request is to review and make recommendations to the City Council on adoption of the Redevelopment Plan.

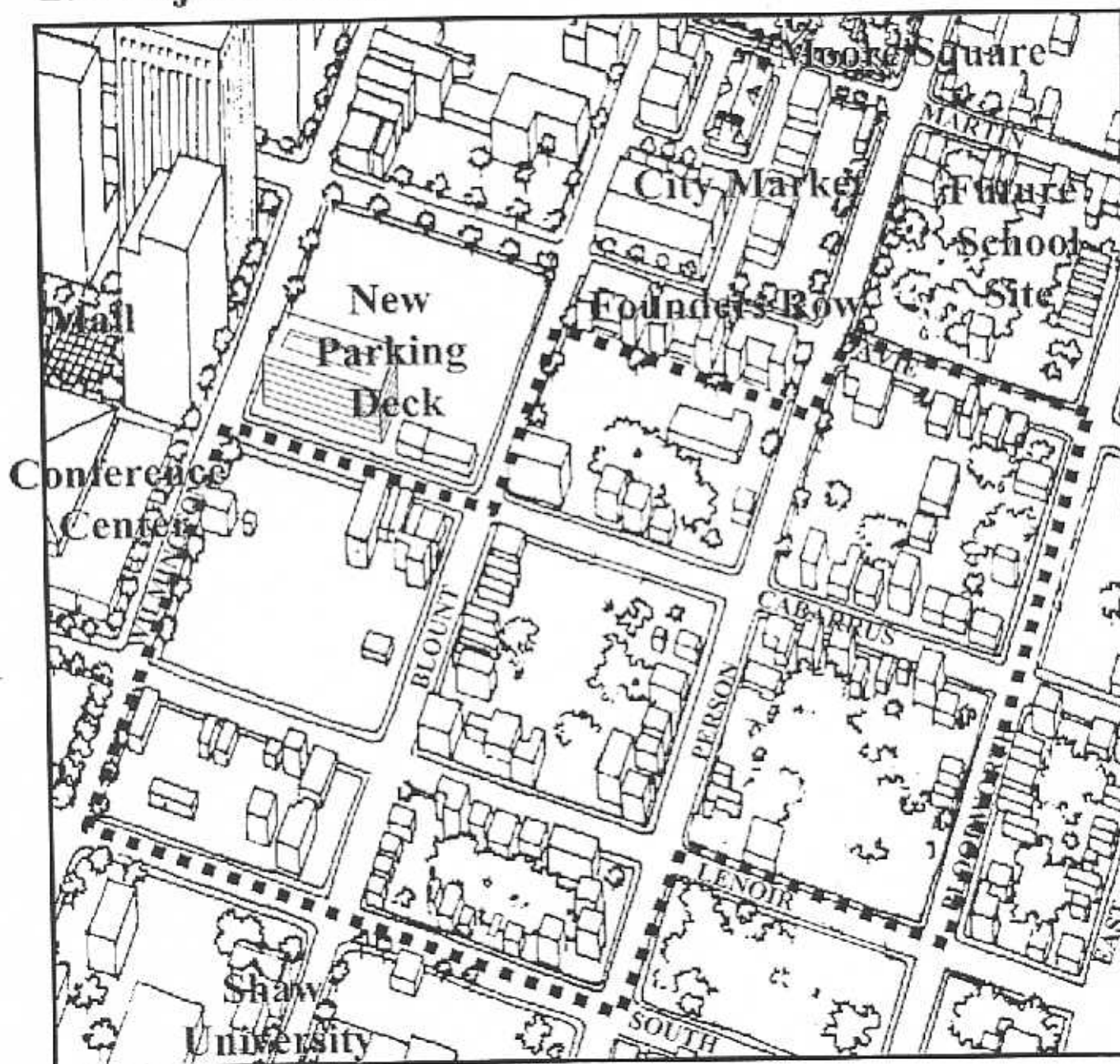
RECOMMENDATION: That this Redevelopment Plan be authorized for public hearing, and following the hearing be approved as proposed.

FINDINGS AND REASONS UPON WHICH THIS RECOMMENDATION IS BASED:

On August 13, 1979 the Raleigh Planning Commission declared the South Park neighborhood as a "blighted" area and on January 19, 1982 the Raleigh City Council adopted the Downtown East / Downtown East Side Redevelopment Plan as defined under N.C. 160A-500 Article 22 Urban Redevelopment Law et.al. The 500 block S. Person / S. Blount Street Area Redevelopment Plan has been prepared to address numerous factors of blight in this portion of the City, including deteriorated residential and commercial structures, land use, zoning, and safety and security concerns. It has been determined that the recommendations contained herein will eliminate these blighted conditions and create a more suitable environment for new housing and economic development supportive of residential and commercial development within the area.

ADDITIONAL NOTES: It is recommended that at the January 18, 2000 City Council meeting that a public hearing be authorized for February 15, 2000 with notification as required under N.C. 160A-500 Article 22 Urban Redevelopment Law, to be followed by Council action.

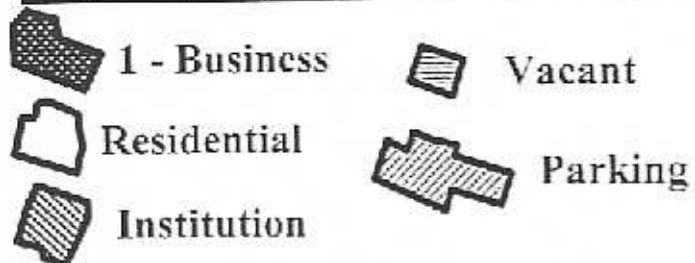
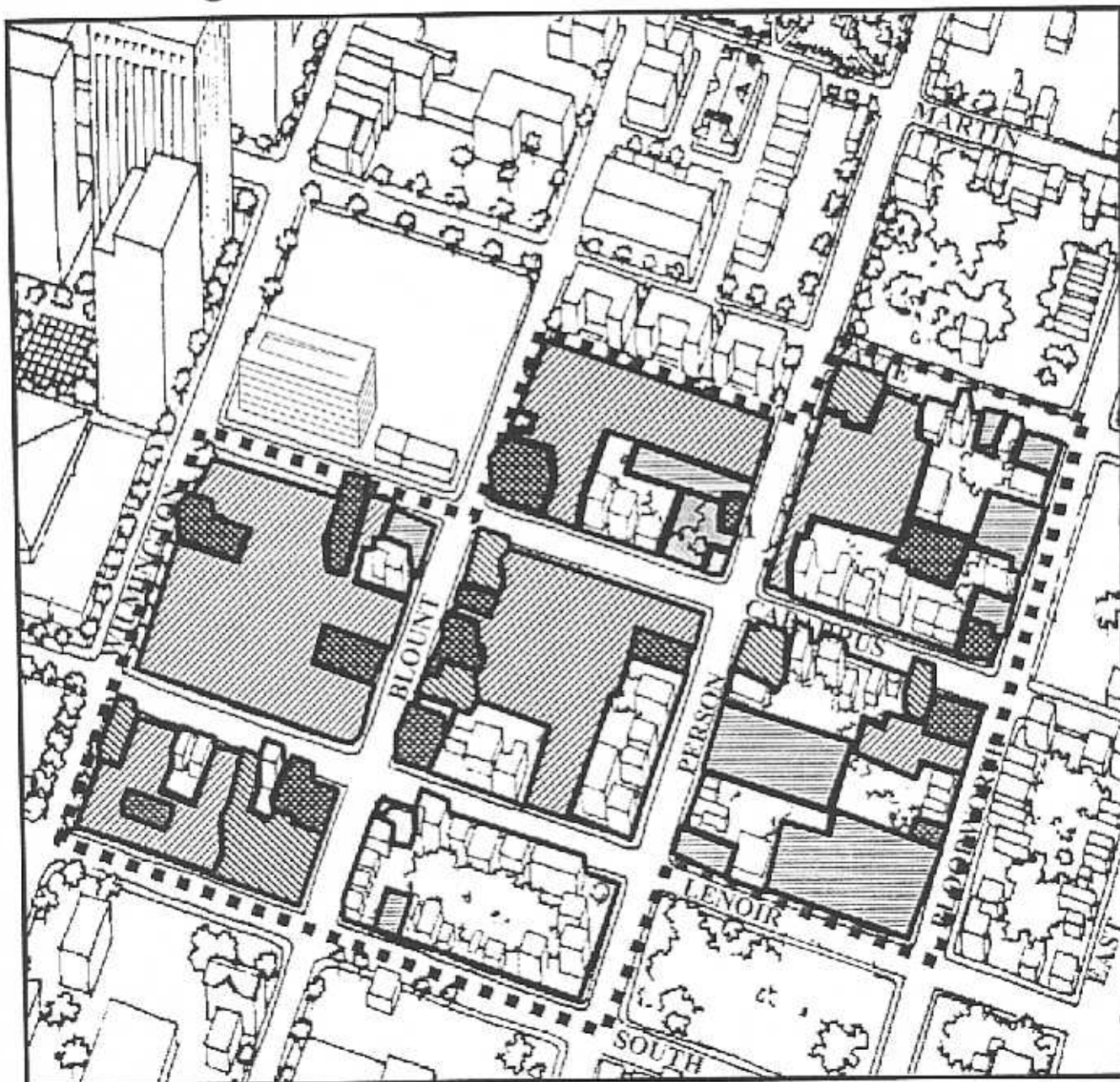
1. Project Area



Landmarks

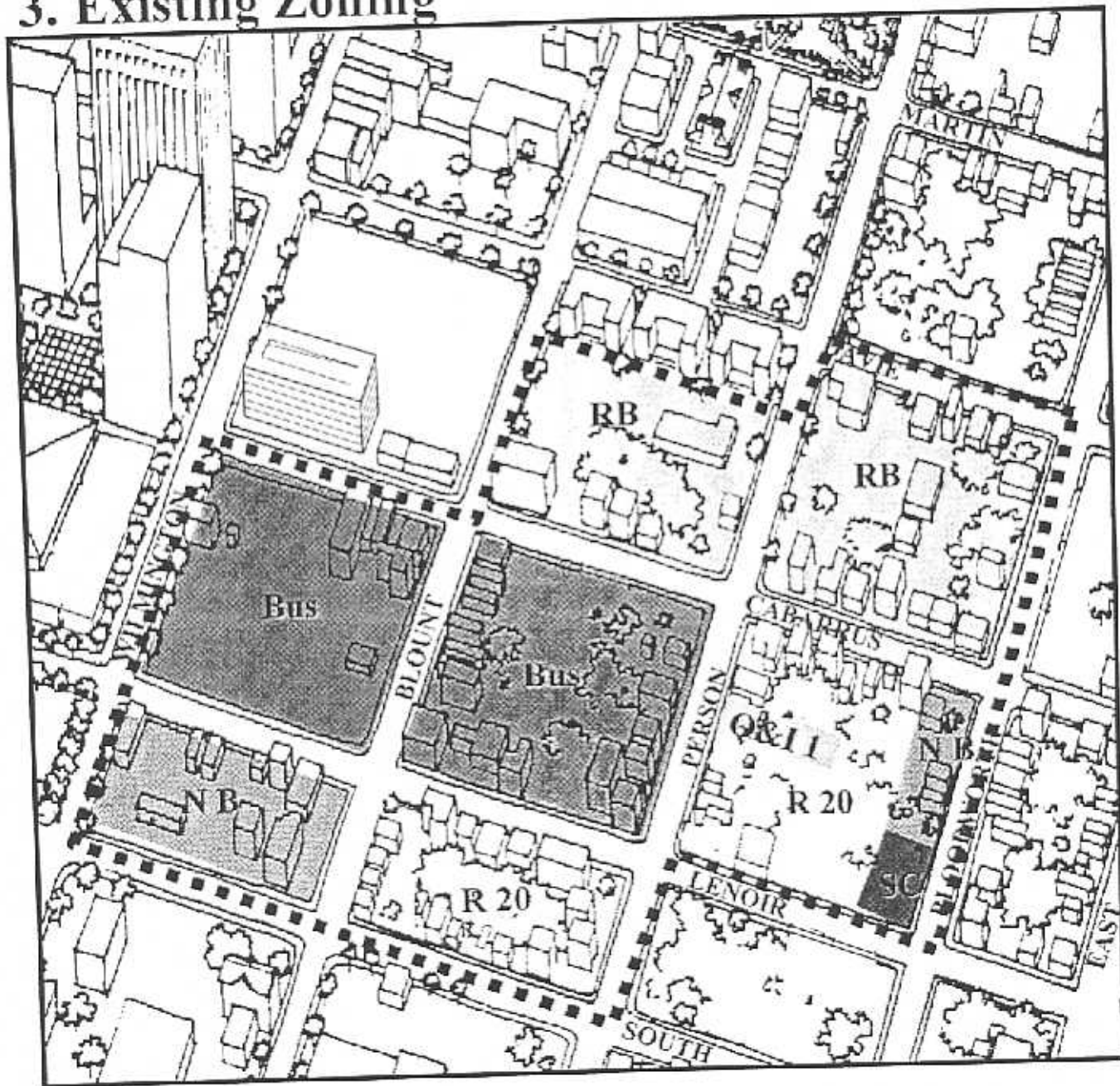
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2. Existing Land Uses



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Plan Area

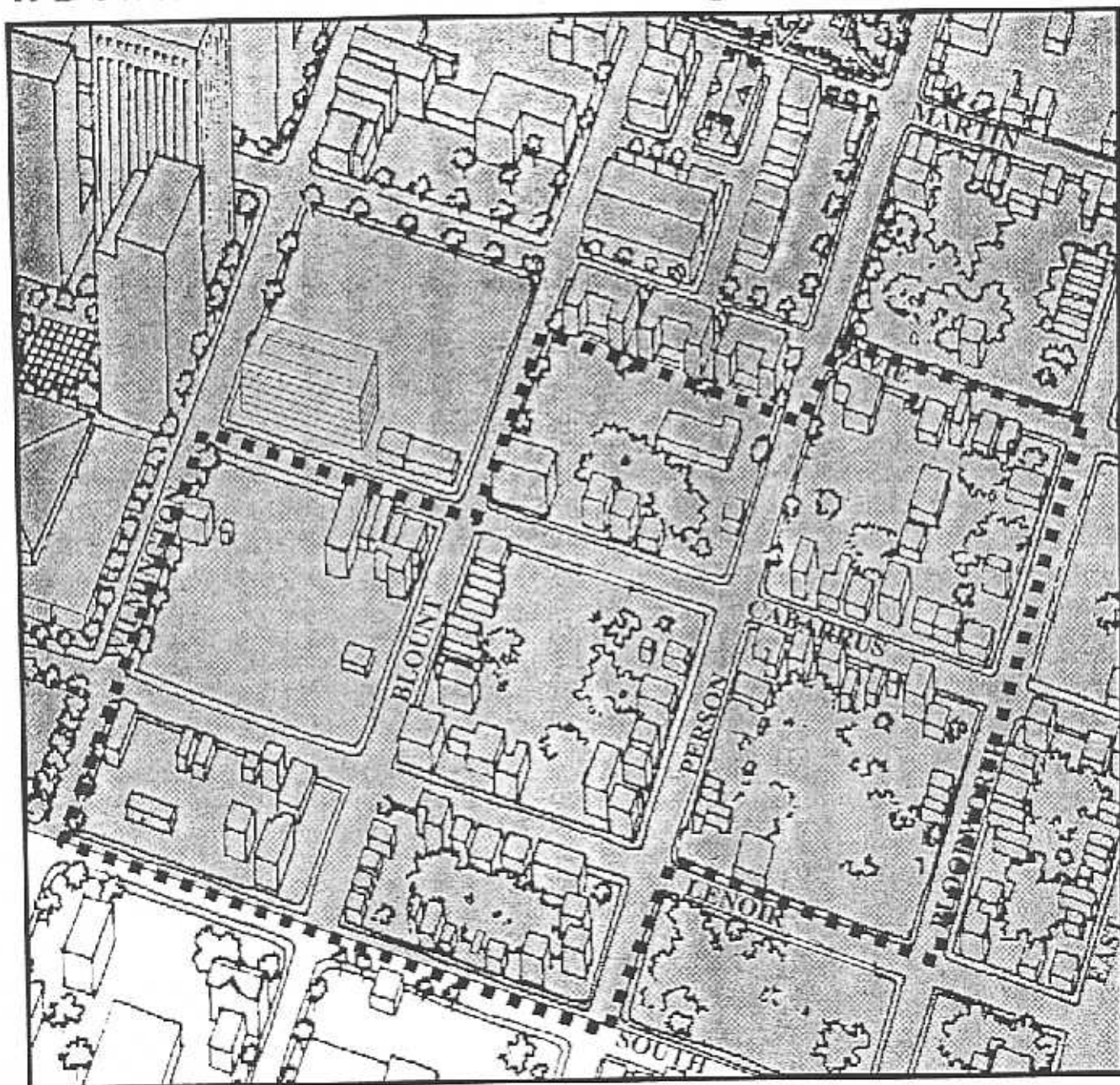
3. Existing Zoning



-  Residential Business
-  Business
-  Residential 20
-  Shopping Center
-  Office & Institution 1
-  Neighborhood Business

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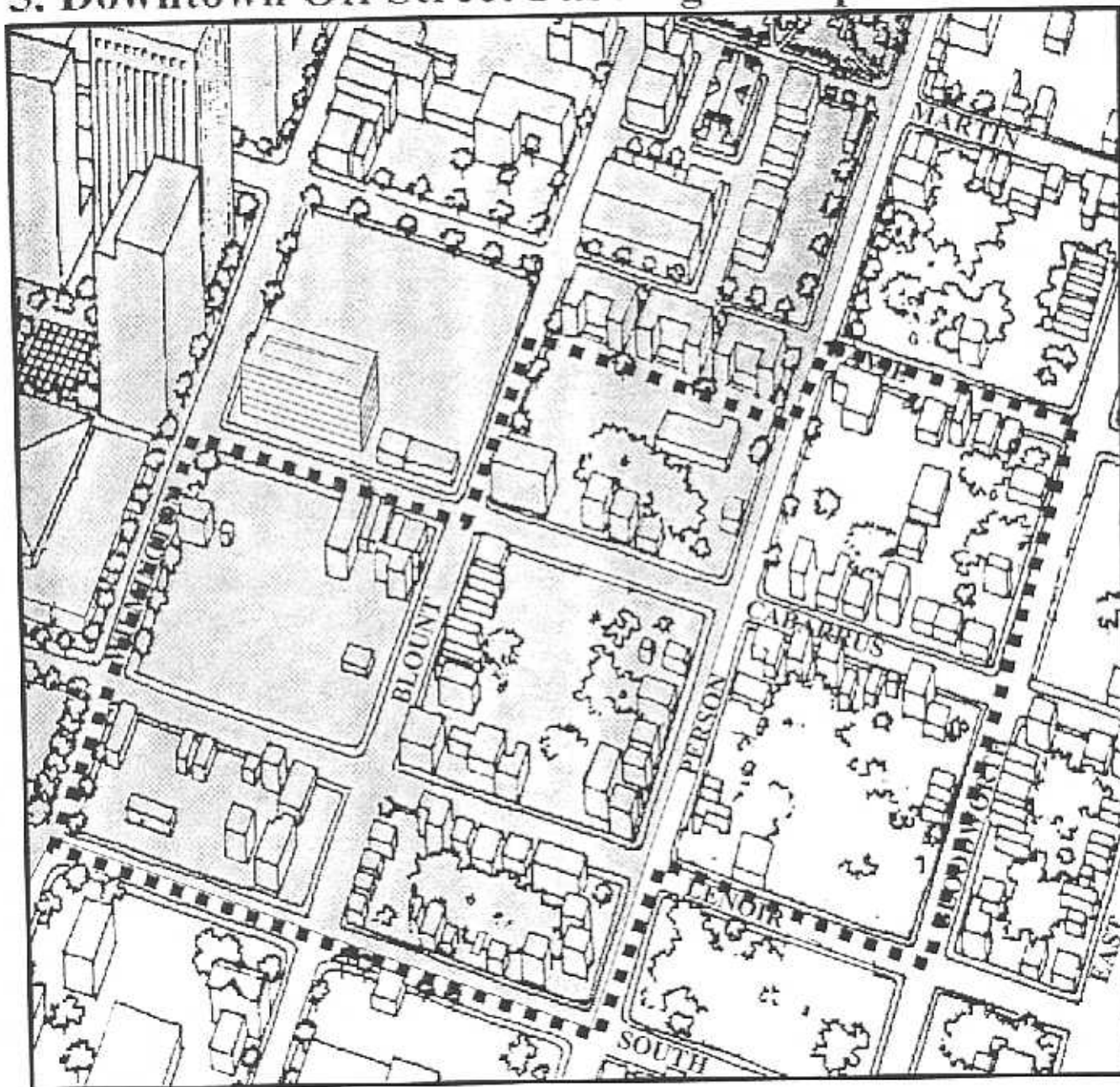
4. Downtown Residential Housing Overlay District



The Downtown Residential Housing Overlay District is appropriate for this area, in order to encourage new residential opportunities.

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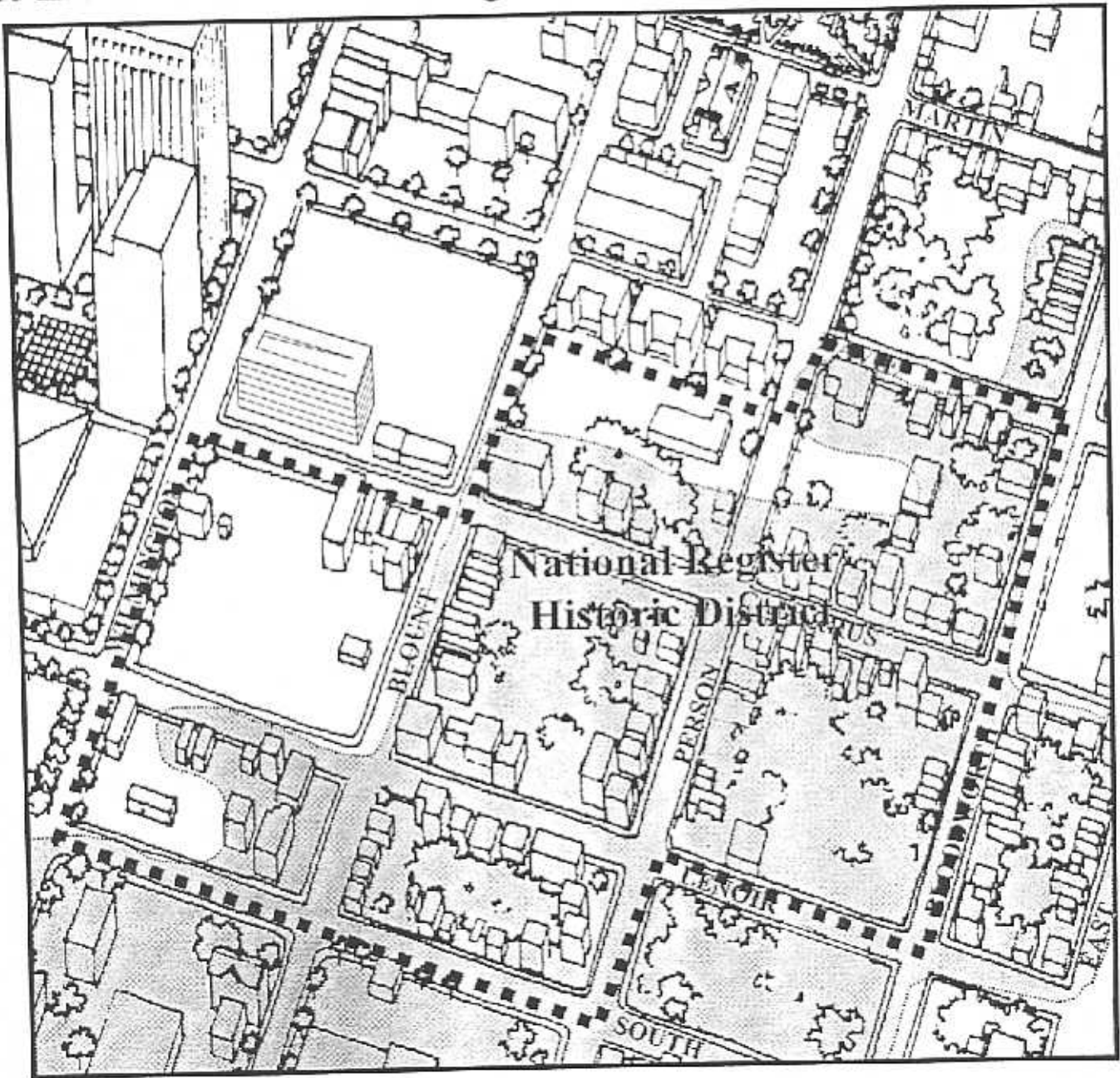
5. Downtown Off Street Parking Exemption Area



Careful consideration should be given prior to any expansion of the off street parking exemption area eastward into the historic residential neighborhood.

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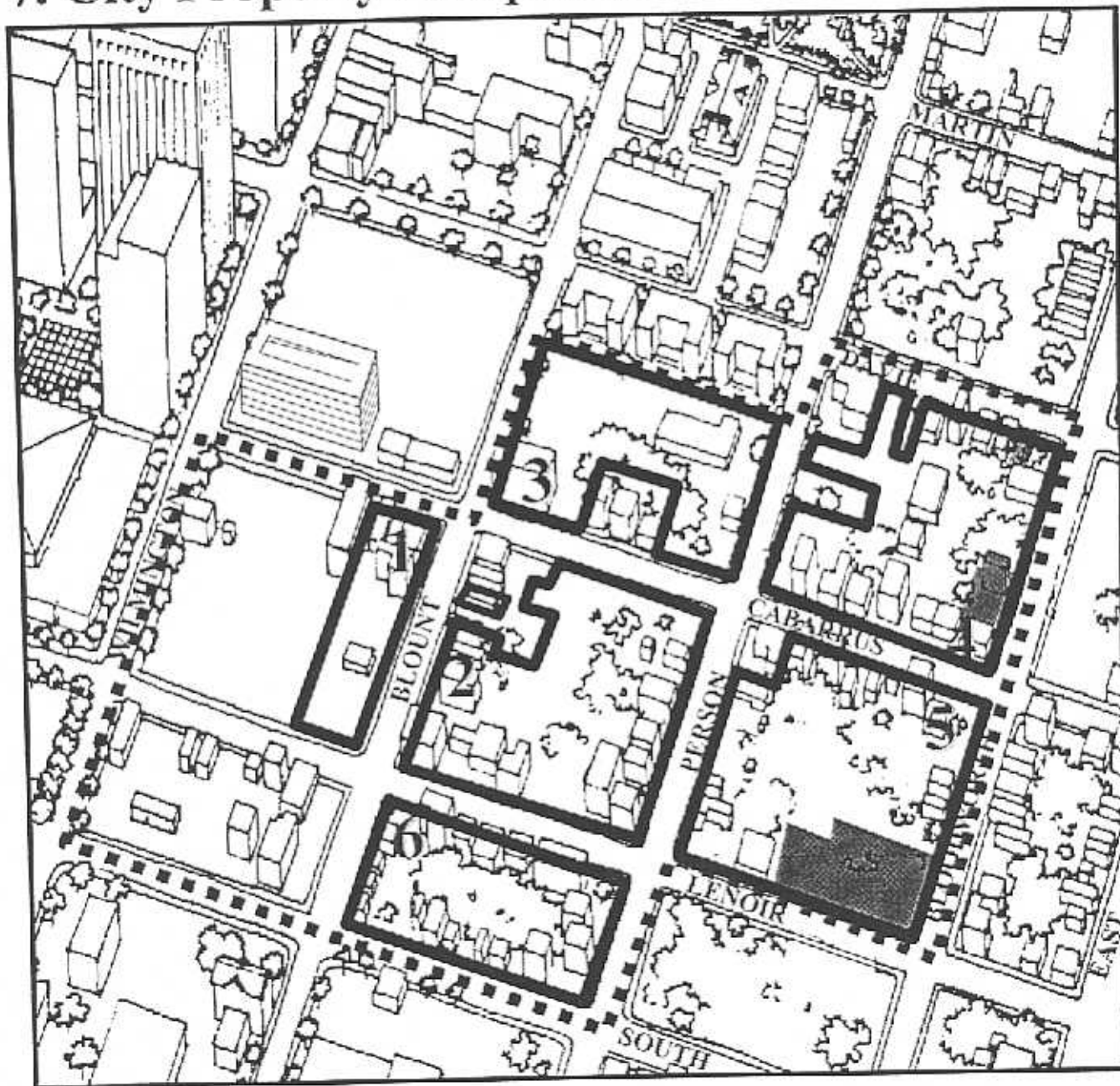
6. Local Historic Designation / Design Guidelines



Consider Local Historic District Designation.
Local designation will include establishment of
design guidelines to ensure compatibility of
development.

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7. City Property / Acquisition Areas



Initial City Acquisition & Rehabilitation *
Areas 1 - 6



Possible Long - Term City Acquisition *

Locations to be determined based upon evaluation of individual property condition, maintenance, upkeep and community impact.

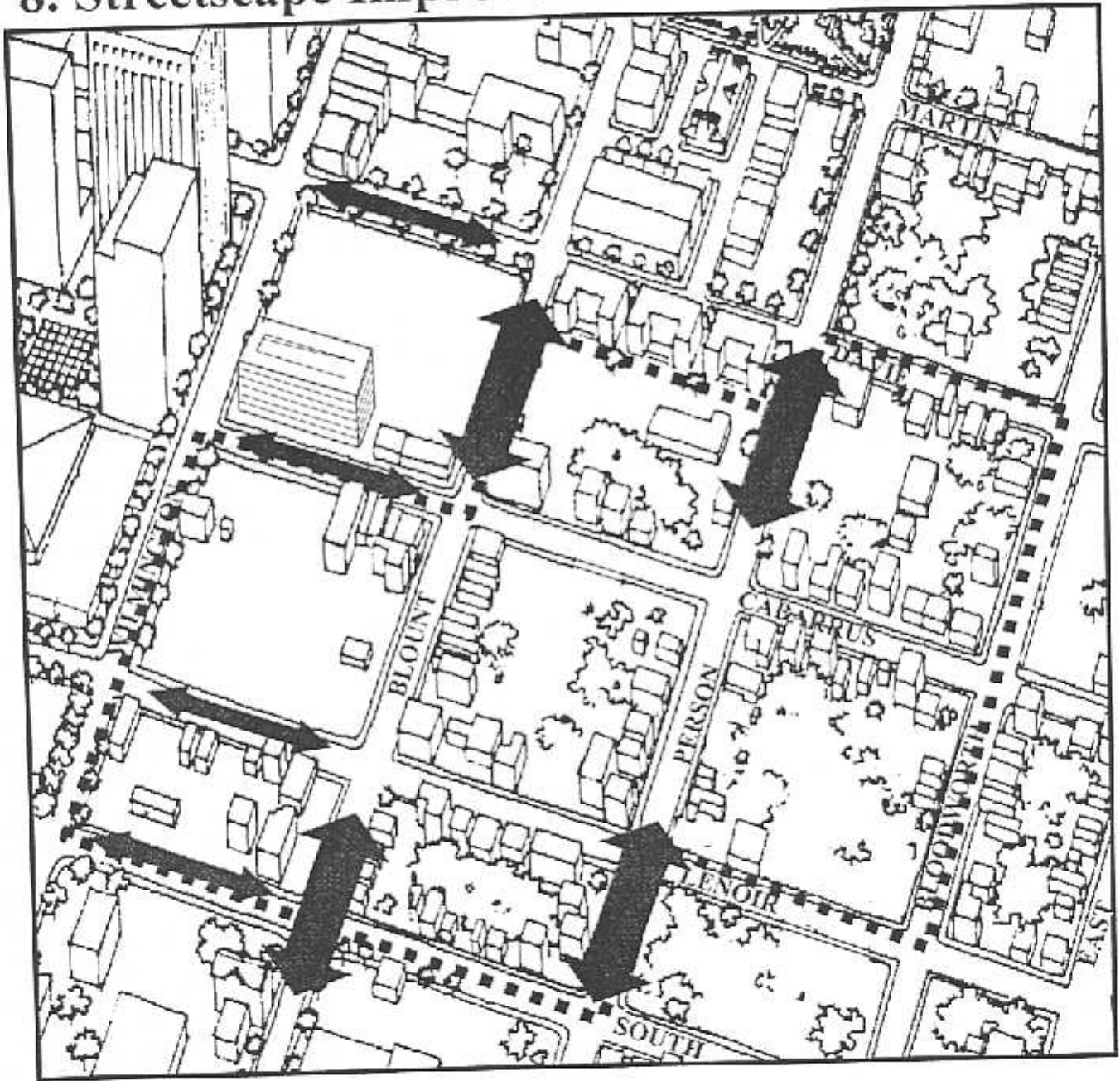


Existing City Property

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* (see sect. XIII Financing Plan for acquisition detail.)

8. Streetscape Improvements

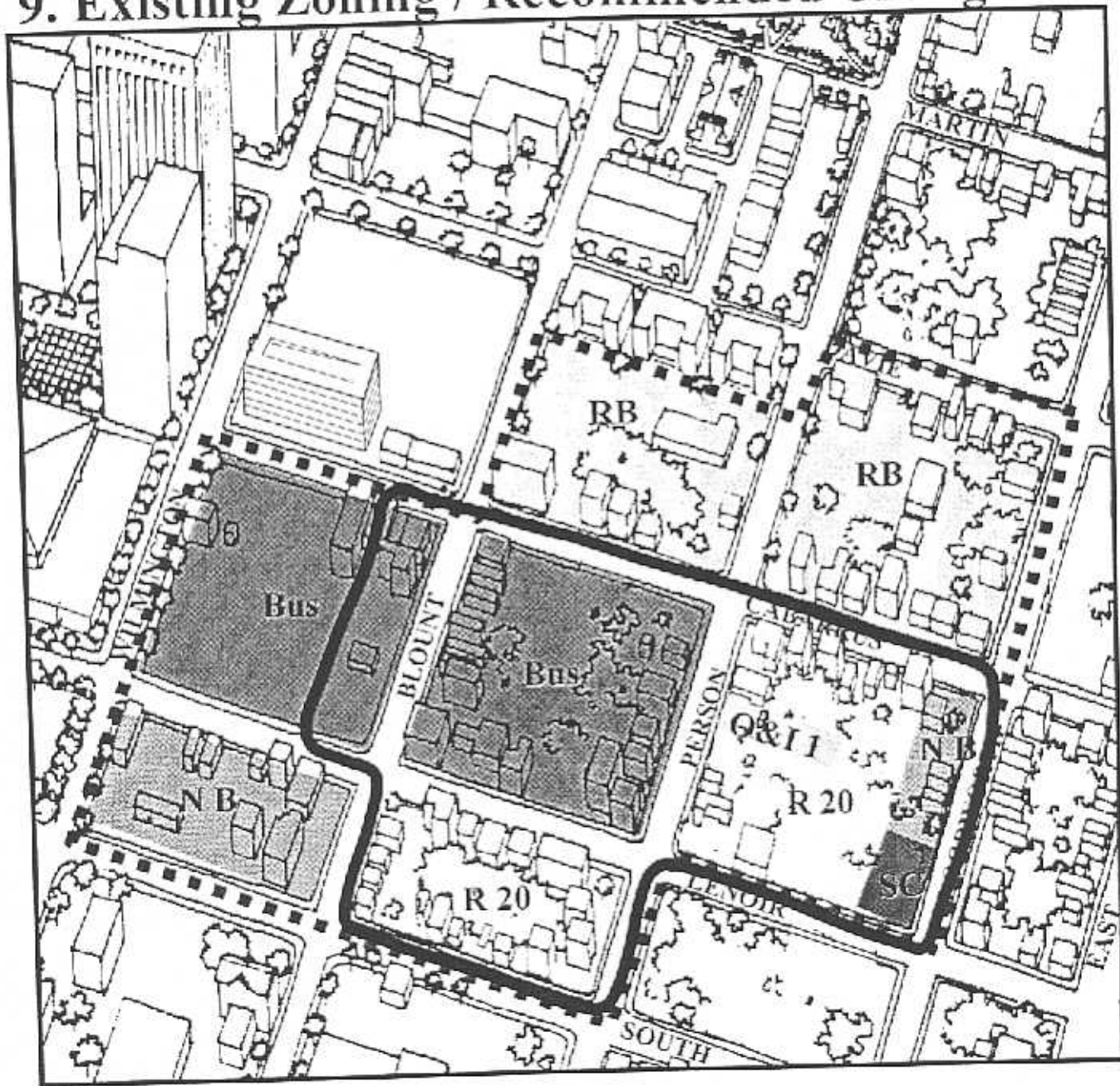








↕ Extend Streetscape improvements along Person and Blount entryways.

↔ Extend Streetscape improvements along east / west streets.

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9. Existing Zoning / Recommended Changes



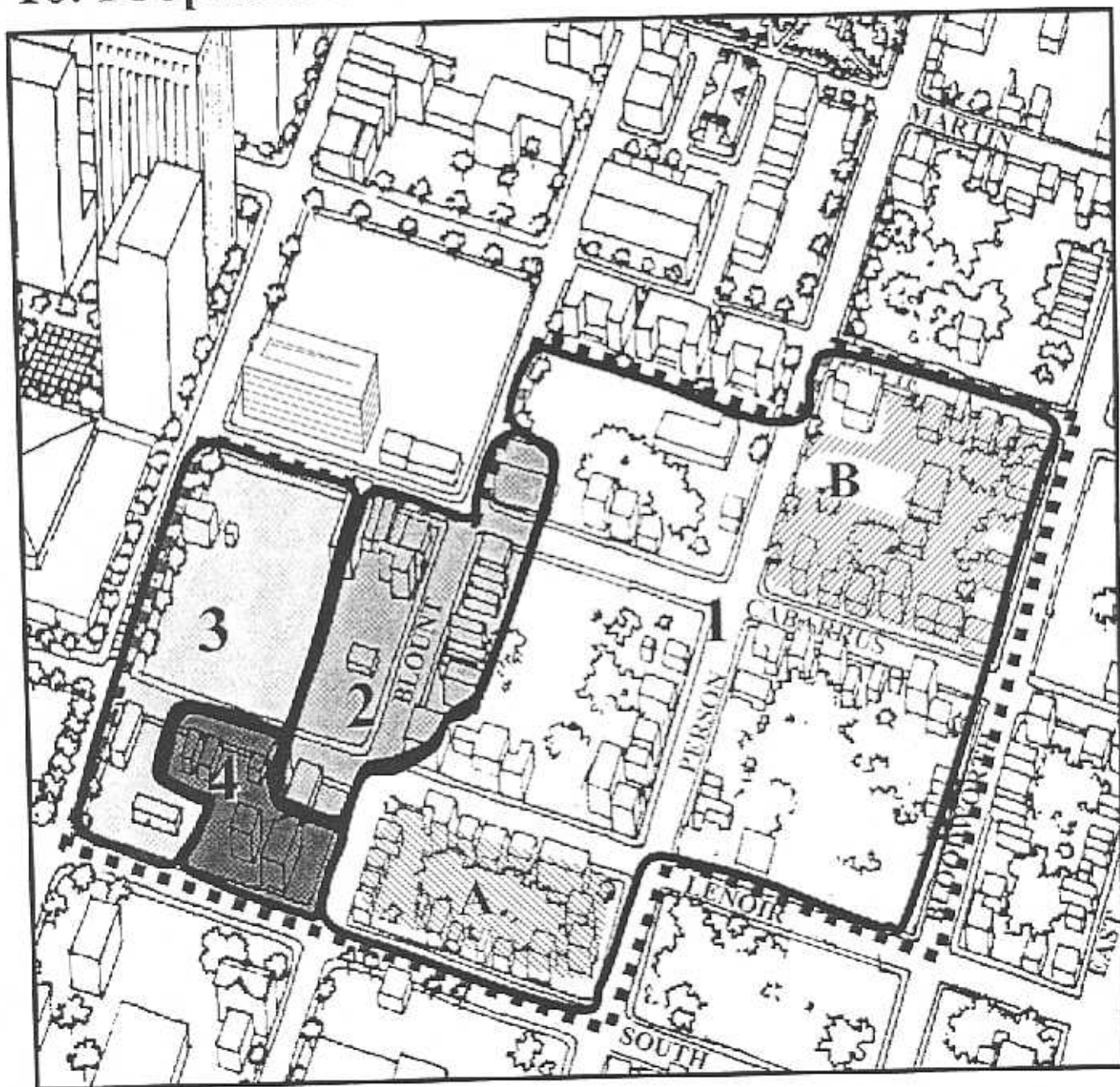
-  Residential Business
-  Business
-  Residential 20
-  Shopping Center
-  Office & Institution 1
-  Neighborhood Business



Stabilize area land uses and zoning by rezoning outlined area to Residential Business.

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10. Proposed Land Uses



1. Primarily Residential.
A. Institutional / University
B. Institutional / Public School



3. Downtown Commercial



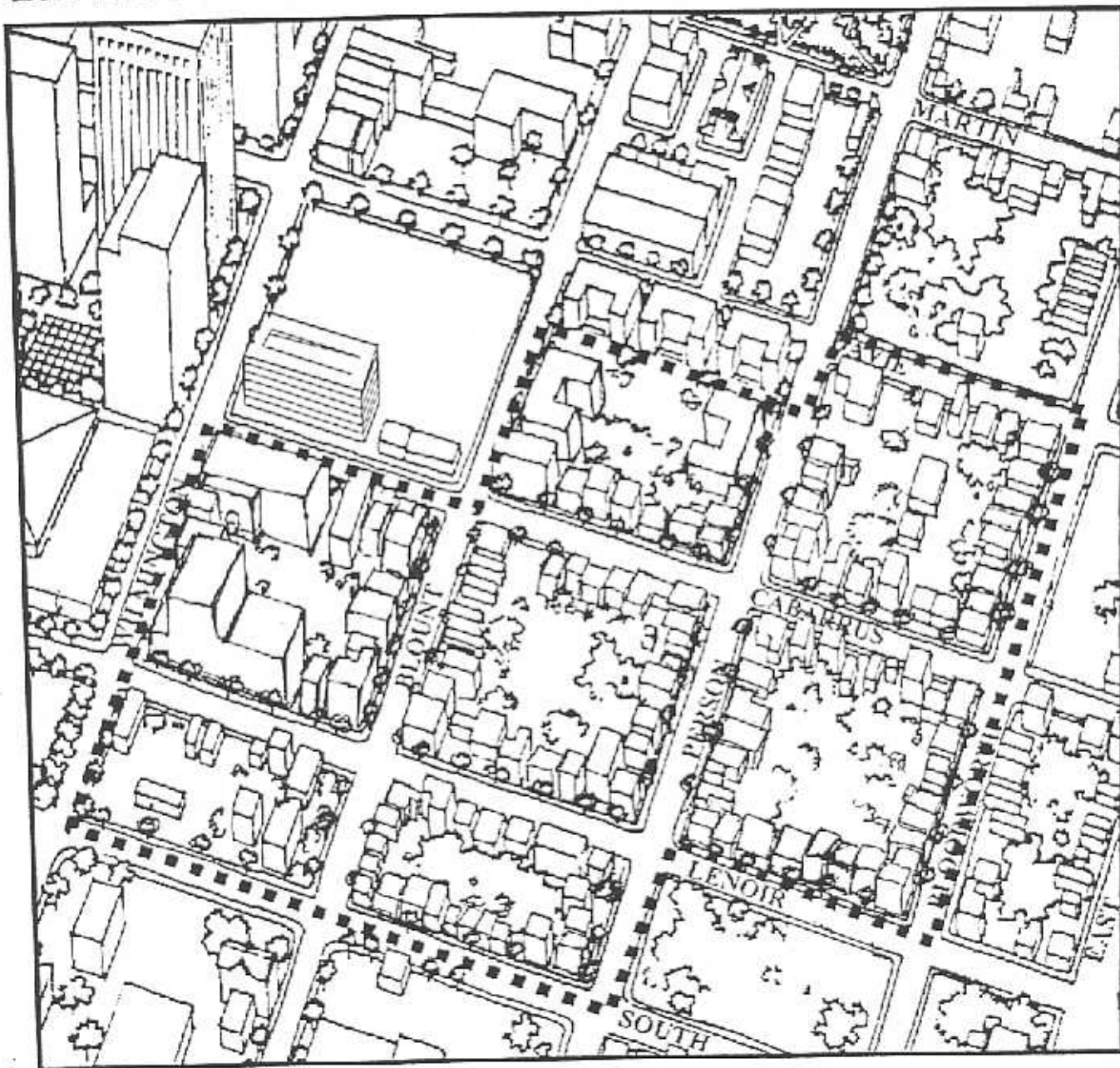
4. Historic Mix - Use



2. Residentially Oriented
Commercial.

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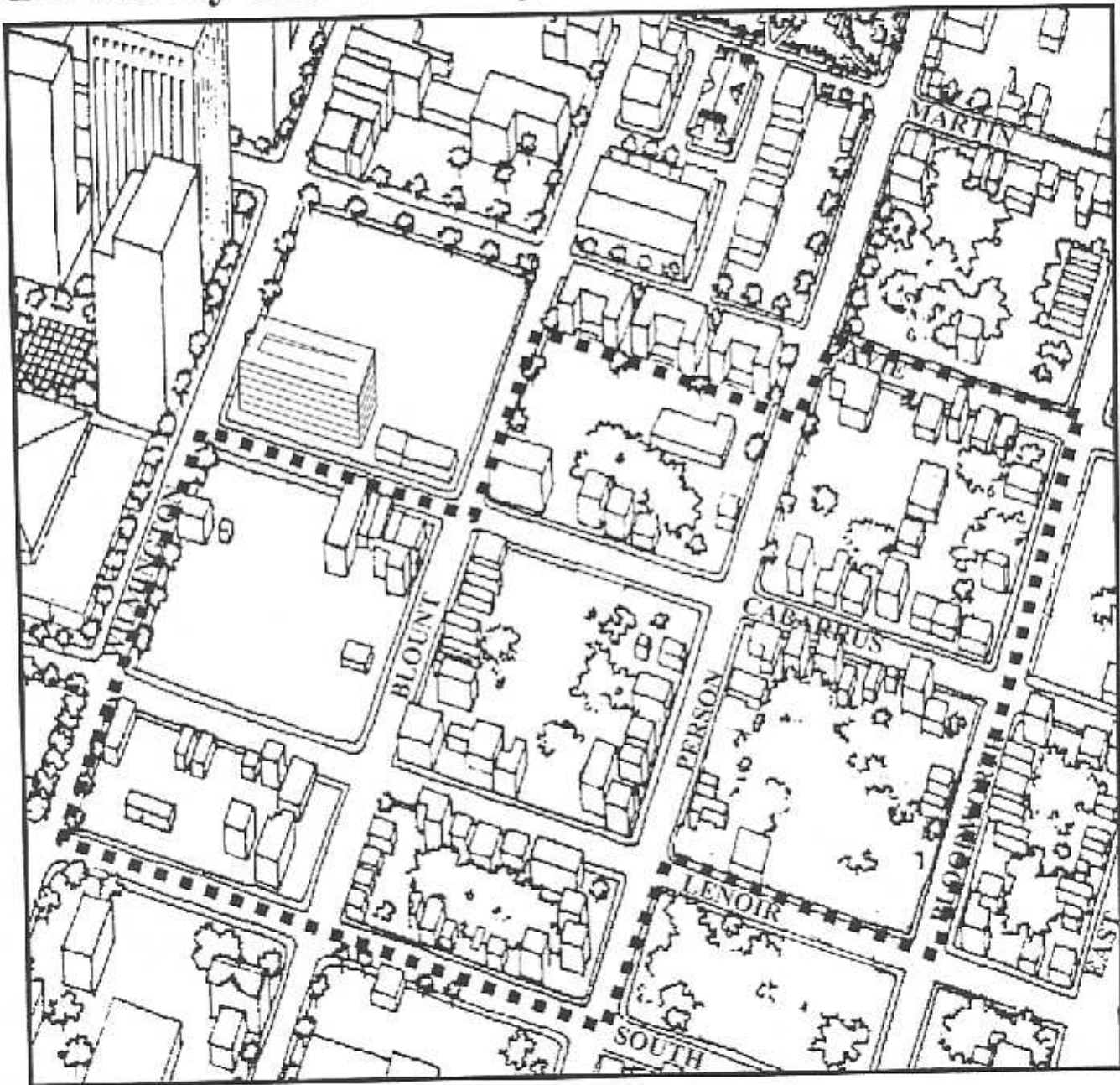
11. Site Plan



This site plan represents a conceptual layout for the Project Area based upon plan recommendations. Residential infill characterizes much of the area intended to remain primarily residential with low scale residentially oriented commercial serving as a buffer to more intense downtown commercial areas to the west.

Plan Area

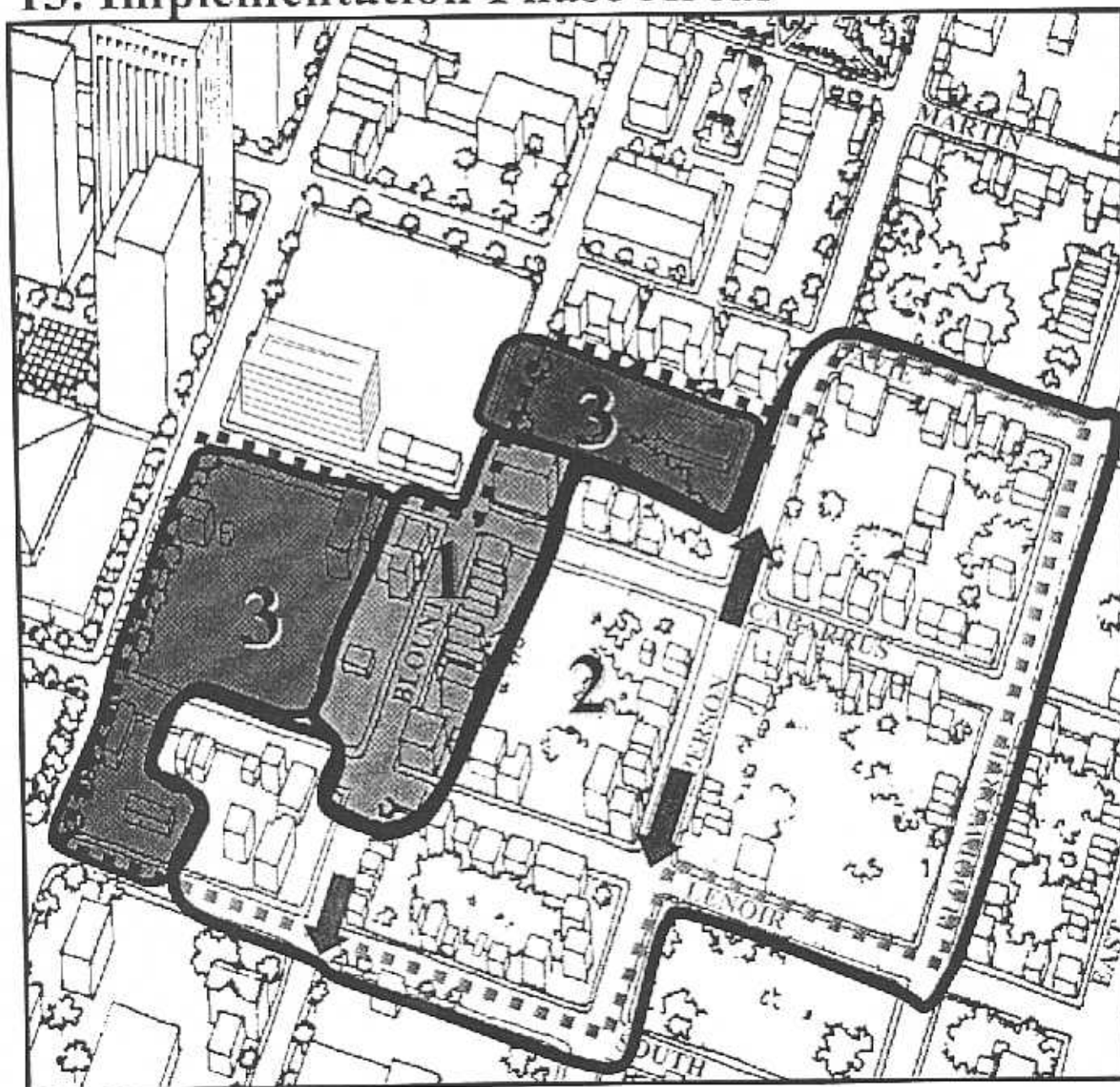
12. Safety and Security Initiatives



1. Continue Community / Business Watch program for notification of emergency and non-emergency calls to Raleigh Police Department.
2. Impact Beats re-organized in downtown area with permanent officer assignments to become familiar with specific neighborhoods.
3. Bicycle Beats expanded into area.
4. Explore additional coverage with development of Magnet Middle School.
5. Notify ALE Agent of establishments with consistent Alcohol related problems.
6. COPE Target Area.

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13. Implementation Phase Areas



Phase 1 Area

- Implement First Phase of Streetscape Plan
- City Façade Design Program Assistance
- Explore Clean and Safe Program Area Initiatives
- Purchase Property at SW corner Blount & Cabarrus
- Masonic Building Renovations NE corner Cabarrus & Blount Streets
- Explore Options with Quick Stop Grocery

Phase 2 Area

- Implement Second Phase Streetscape Plan
- City purchase of selected properties

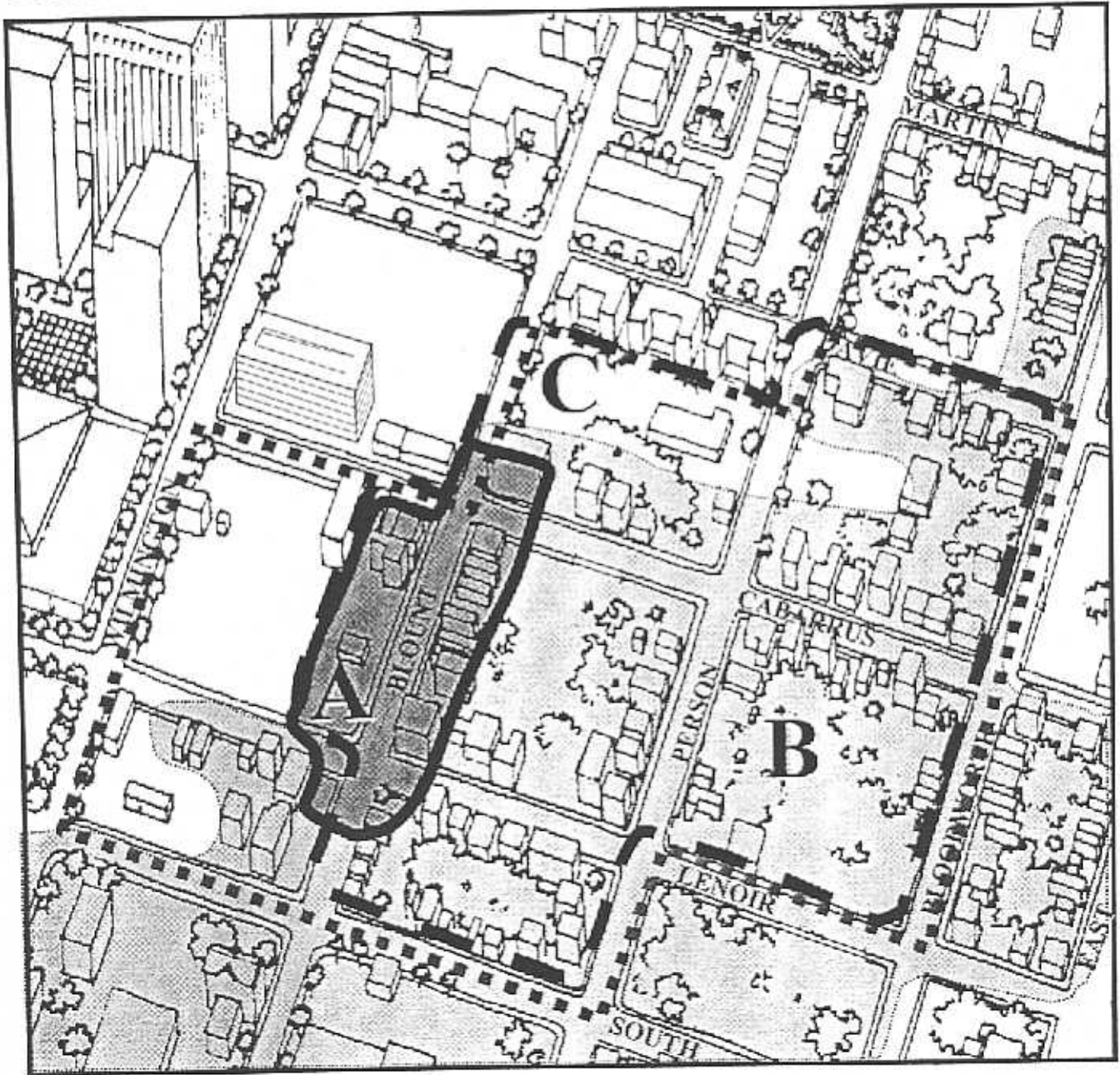
Phase 3 Areas





- Encourage Private Sector initiatives

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14. Immediate Actions



-  A. Phase 1 Area Initiatives
-  B. Consider Local Historic District Designation
-  C. Consider Zoning Changes
-  D. Safety & Security Initiatives

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